



City of Napoleon, Ohio

Zoning Department

255 West Riverview Avenue, P.O. Box 151

Napoleon, OH 43545

Kevin Schultheis Code Enforcement/ Zoning Administrator

Telephone: (419) 592-4010 Fax: (419) 599-8393

www.napoleonohio.com

RESIDENTIAL ZONING PERMIT

Issued Date: June 17, 2025

Expiration Date: June 17, 2026

Permit Number: P-25-091

Job Location: 408 Hudson

Owner: Woodland Custom Homes
408 Hudson
Napoleon, OH 43545

Contractor: Woodland Custom Homes
Phone: 419-720-4411
Zone: R-3: Medium Density Residential

Set Backs: Front: 40' Rear: 10' Side: 7'

Comments: New home construction

Permit Type: Residential

Fee: \$25.00

Status:

Amount Due: \$0.00

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R-3
P-25-091

Residential Zoning Permit Application

Date 3-27-25 Job Location 408 Hudson 4100 915 10123 Lot 10

Owner WOODLAND Custom Homes Telephone # 419-720-4411

Owner Address 2892 N. Reynolds Rd TOL OH 43615

Contractor WOODLAND Custom Homes Cell Phone # 419-266-6556

Description of Work to be Performed Single family dwelling w/ ATT Garage

Estimated Completion Date 1-13-26 Estimated Cost 180,000

Demo Permit - \$100.00 - See Separate Form	(MDEMO 100.1700.46690)	\$
Zoning Permit - \$25.00	(MZON 100.1700.46690)	\$ <u>25.00</u>
Fence/Pool/Deck - \$25.00	(MZON 100.1700.46690)	\$
Accessory Building 200 SF or less (Detached) - \$25.00	(MZON 100.1700.46690)	\$
Driveway/Sidewalk/Curbing/Patio - \$0.00	(MZON 100.1700.46690)	\$
Drainage Permit/Outside Water/Sewer Repair - \$0.00	(MBLDG 510.0000.44730)	\$
1" Water Tap, 5/8" Meter, Copper Setter and Transmitter - \$1,200.00(Outside City - \$5,680)	(MBLDG 510.0000.44730)	\$
1" Water Tap, 3/4" Meter, Copper Setter and Transmitter - \$1,300.00(Outside City - \$5,820)	(MBLDG 510.0000.44730)	\$
1" Water Tap, 1" Meter, Copper Setter and Transmitter - \$1,400.00 (Outside City - \$5,960)	(MBLDG 510.0000.44730)	\$
1" Meter, Copper Setter and Transmitter Without Tap - \$525.00	(MBLDG 510.0000.44730)	\$
3/4" Meter, Copper Setter and Transmitter Without Tap - \$440.87	(MBLDG 510.0000.44730)	\$
5/8" Meter, Copper Setter and Transmitter Without Tap - \$350.00	(MBLDG 510.0000.44730)	\$
Sewer Tap For Lots 7,200 Sq. Ft. Or Less - \$0.00	(MBLDG 520.0000.44830)	\$
Sewer Tap For Lots (Single Family) 7,201 To 12,199 Sq. Ft. (x \$0.012)	(MBLDG 520.0000.44830)	\$
Sewer Tap For Lots (Single Family) 12,200 Sq. Ft. or Greater - \$60.00	(MBLDG 520.0000.44830)	\$
Sewer Tap For Lots (Two Family) 7,201 to 23,866 Sq. Ft. (x\$0.012)	(MBLDG 520.0000.44830)	\$
Sewer Tap For Lots (Two Family) 23,867 Sq. Ft. or Greater - \$200.00	(MBLDG 520.0000.44830)	\$
Sewer Tap For Lots (Three Family) 7,201 to 36,366 Sq. Ft. (x\$0.012)	(MBLDG 520.0000.44830)	\$
Sewer Tap For Lots (Three Family) 36,367 Sq. Ft. or Greater - \$350.00	(MBLDG 520.0000.44830)	\$
Sewer Tap Inspection Fee For Single Family or Duplex - \$60.00	(MBLDG 520.0000.44830)	\$
Inspection Fee Outside the Corporation Limits - Increase 50%	(MBLDG 520.0000.44830)	\$
TOTAL FEE:		\$

I FULLY UNDERSTAND THAT NO EXCAVATION, CONSTRUCTION OR STRUCTURAL ALTERATION, ELECTRICAL OR MECHANICAL INSTALLATION OR ALTERATION OF ANY BUILDING STRUCTURE, SIGN, OR PART THEREOF AND NO USE OF THE ABOVE SHALL BE UNDERTAKEN OR PERFORMED UNTIL THE PERMIT APPLIED FOR HEREIN HAS BEEN APPROVED AND ISSUED BY THE CITY OF NAPOLEON ZONING DEPARTMENT.

I hereby certify that I am the Owner of the named property, or that the proposed work is authorized by the Owner of record and that I have been authorized by the Owner to make this application as his/her authorized agent and I agree to conform to all applicable laws of the jurisdiction. In addition, if a permit for Work described in this application is issued, I certify that the code official or the code official's authorized representative shall have the authority to enter areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit.

I HEREBY ACKNOWLEDGE THAT I HAVE READ AND FULLY UNDERSTAND THE ABOVE LISTED INSTRUCTIONS.

SIGNATURE OF APPLICANT: Tracey Schulteis

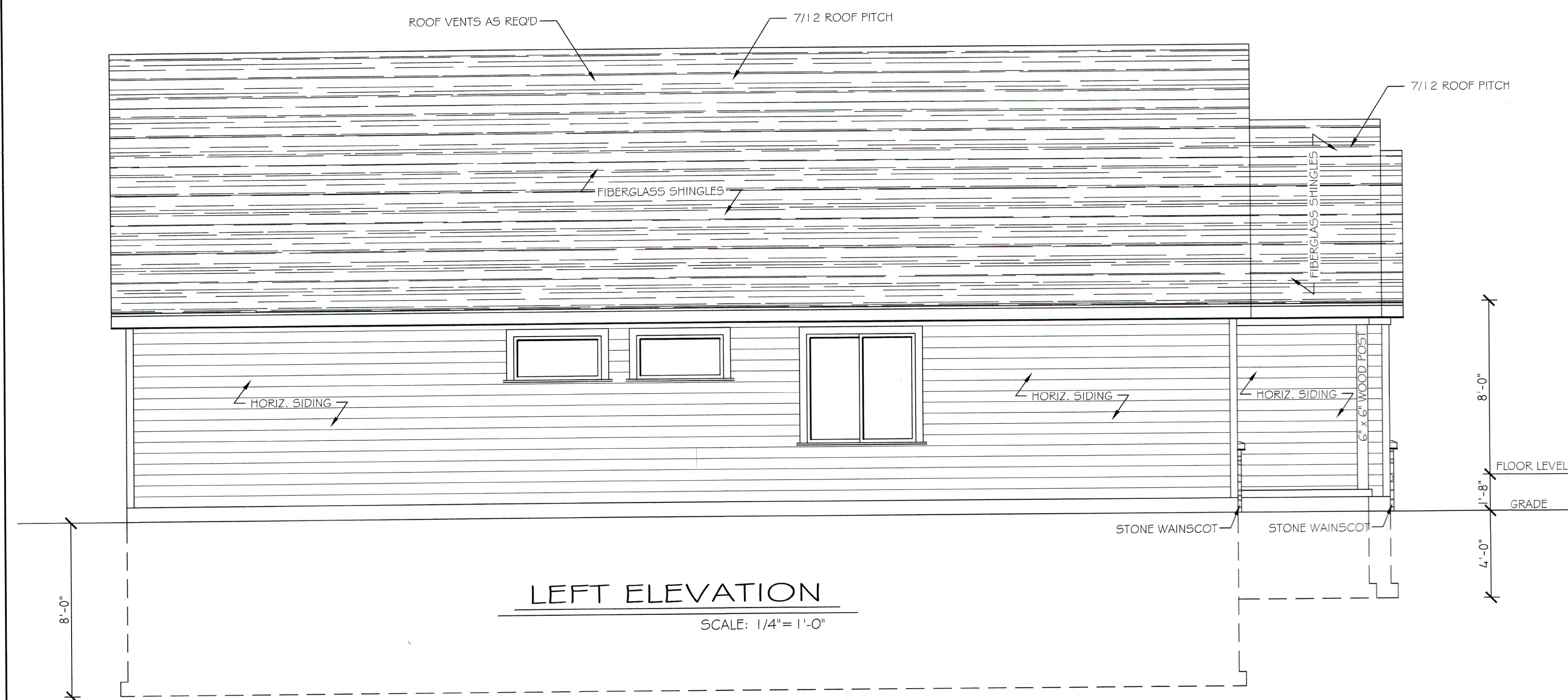
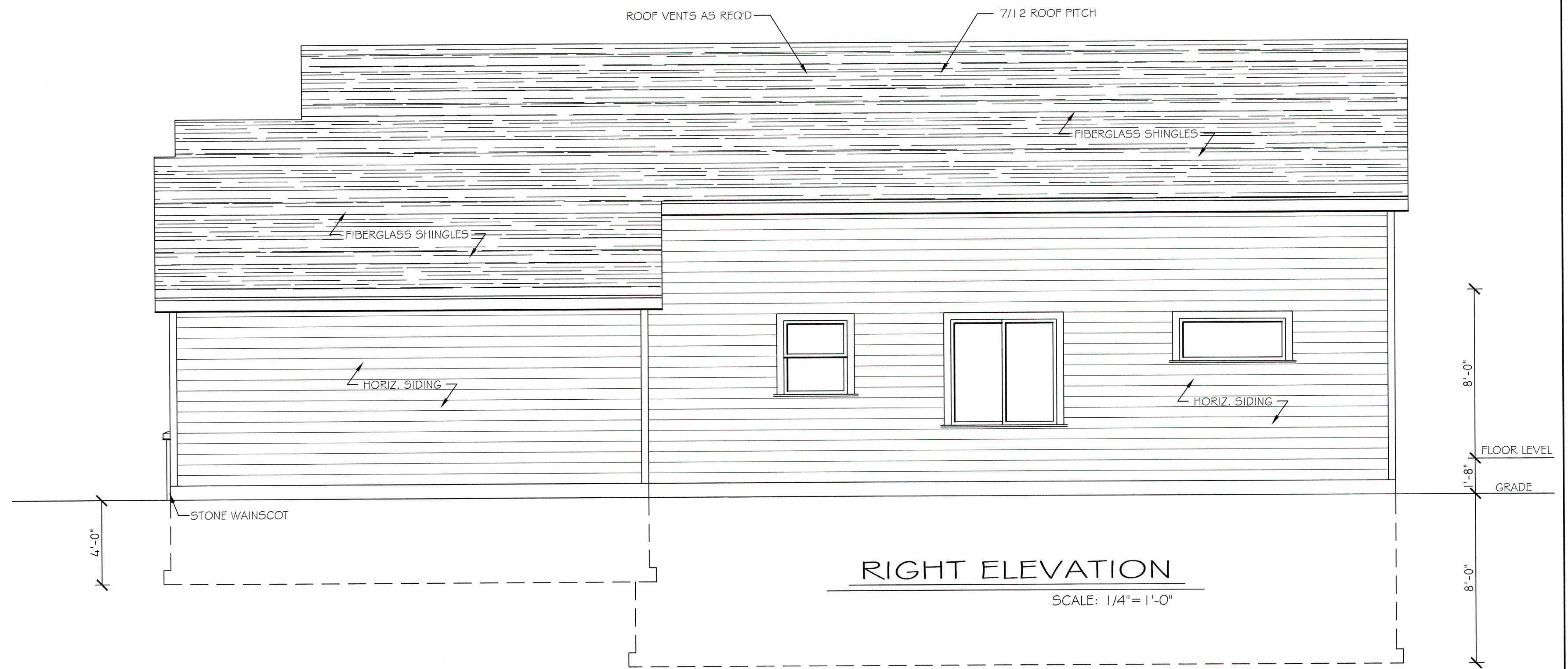
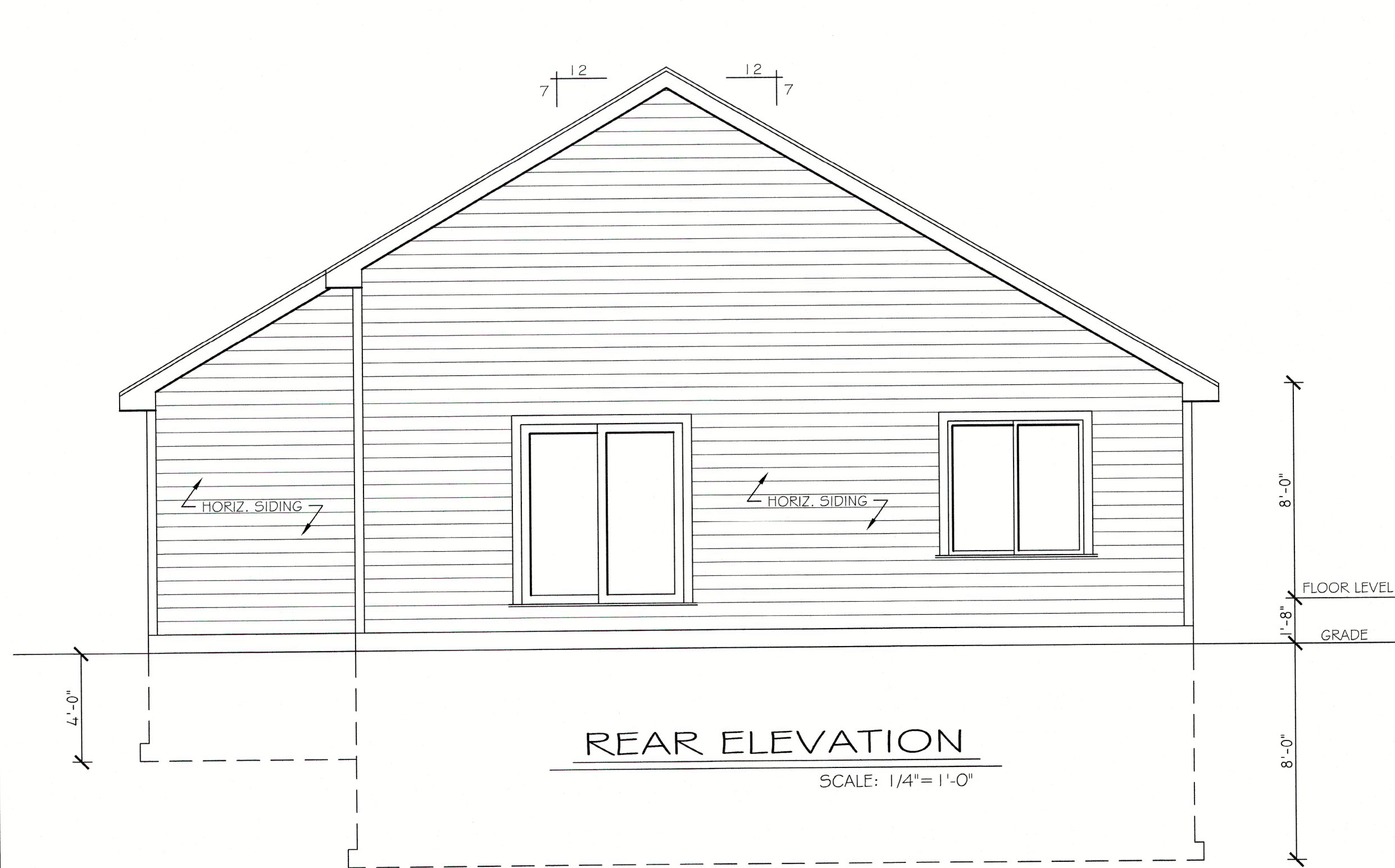
DATE: 6-16-25

BATCH #

CHECK #

DATE

Per Rule 10.2 of the City of Napoleon Rules for Water and Sewer Service, City personnel will assist property owners in locating existing sanitary sewer laterals and water services to the best of their ability. However, the City does not guarantee the accuracy of said markings and is not liable for any expense incurred by the property owner if said markings are incorrect.



Lot 10
408 Hudson

ELEVATIONS
HAREFOOTE- 2 CAR
W/ BASEMENT

WOODLAND
custom home builders



FILE NAME:
33-C-131-2C-FB

DATE:
10/22/24

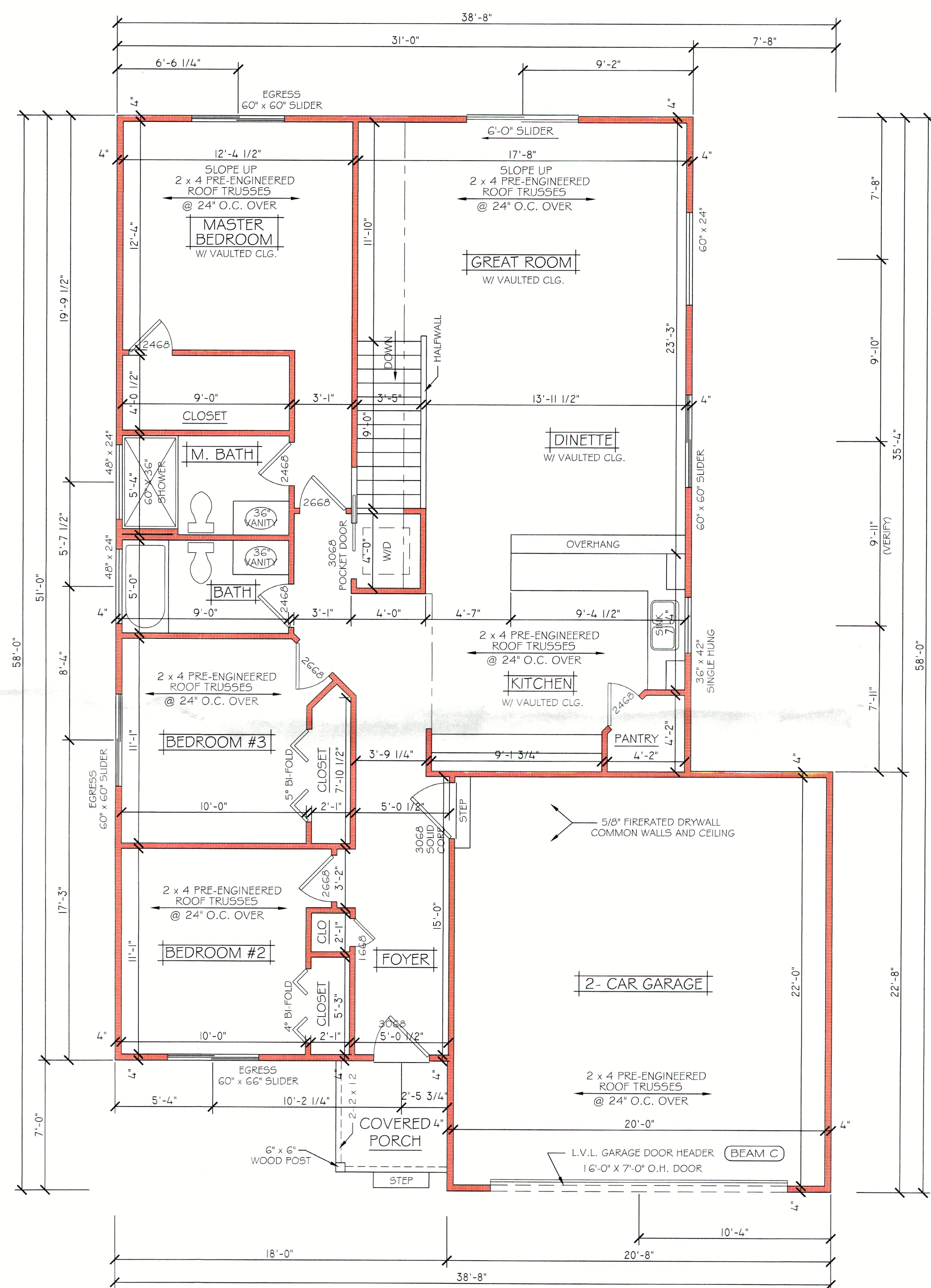
REVISIONS:

SHEET NUMBER

1
3

[illegible]

SCALE: 1/4"=1'-0"



SCALE: 1/4" = 1'-0"

SQUARE FOOTAGE	
FIRST FLOOR	1378.5
GARAGE	467.3
COVERED PORCH - A	36.0

1. ALL WALLS ARE FIGURED AT 3 1/2" UNLESS NOTED OTHERWISE.
2. DOUBLE EVERY THIRD JOIST UNDER ALL TILE OR MARBLE FLOORS.
3. ALL WINDOWS ARE SHOWN AS SLIDERS.
VERIFY WITH BUILDER
4. ALL WALLS OVER 10'-0" HIGH SHALL BE 2 x 6 FRAMING
5. DOUBLE ALL FLOOR JOISTS UNDER ALL PARTITIONS THAT RUN PARALLEL TO THE FLOOR JOISTS.
6. ALL FLOORS SHALL BE CROSS-BRIDGED W/ 1 x 3 BRIDGING. 8'-0" O.C. MAX.
7. PROVIDE EXHAUST FANS W/ SEPARATE SWITCHES IN ALL LAVS AND BATHS.
8. PROVIDE SMOKE SENSORS AND CARBON MONOXIDE DETECTORS AS REQUIRED BY LOCAL CODE. (HARD WIRE)
9. ALL BEARING LOCATIONS OF I-JOISTS SHALL BE WEB REINF.
10. BACK ALL BRICK, ALUMINUM AND VINYL SIDING W/ HOUSE WRAP.
11. ALL DOOR AND WINDOW HDRS. SHALL BE DOUBLE 2 x 12S W/ 1 1/2" BEARING.
12. ALL MICRO-LAM BEAMS TO BE JOINED TOGETHER PER MANUFACTURER'S SPECIFICATIONS.
13. DO NOT SCALE DRAWING. USE PRINTED DIMENSIONS ONLY. IF ANY DISCREPANCY OCCURS, NOTIFY THE DESIGNER IMMEDIATELY FOR DIRECTION. BUILDER RESPONSIBLE TO HAVE REVIEWED ALL DRAWINGS AND IF ADDITIONAL CLARIFICATION OR INFORMATION IS NEEDED BUILDER IS TO CONTACT DESIGNER.
14. WHERE HAND RAILS ARE SHOWN, HAND RAIL HEIGHT IS TO BE 34-36 ABOVE NOSING.
15. 6'-8" CLEAR HEADROOM REQUIRED ON ALL STAIRS
16. INSTALL WINDOWS W/ TEMPERED GLASS AS REQ'D BY CODE.
17. PLANS ARE DRAWN TO COMPLY WITH SECTION 1105- "THE OHIO HOME BUILDER'S ASSOCIATION (OHBA) ALTERNATIVE ENERGY CODE OPTION". BUILDER WILL SUPPLY ADDITIONAL INFORMATION IF ANOTHER OPTION IS USED.
18. STONE AND MASONRY VENEER SHALL BE INSTALLED IN ACCORDANCE TO SECTION 703.7.
19. OVERHANGS THAT EXTEND WITHIN 5' OF PROPERTY LINE MUST FOLLOW RCO TABLE 302.1(1).
20. ALL WORK SHALL COMPLY WITH THE 2019 RESIDENTIAL CODE OF OHIO.

SECTION 1112 - (OHBA) ALTERNATIVE
ENERGY CODE COMPLIANCE PATH # 2

FLOOR AND ROOF PLAN
HAREFOOTE- 2 CAR
W/ BASEMENT

WOODLAND
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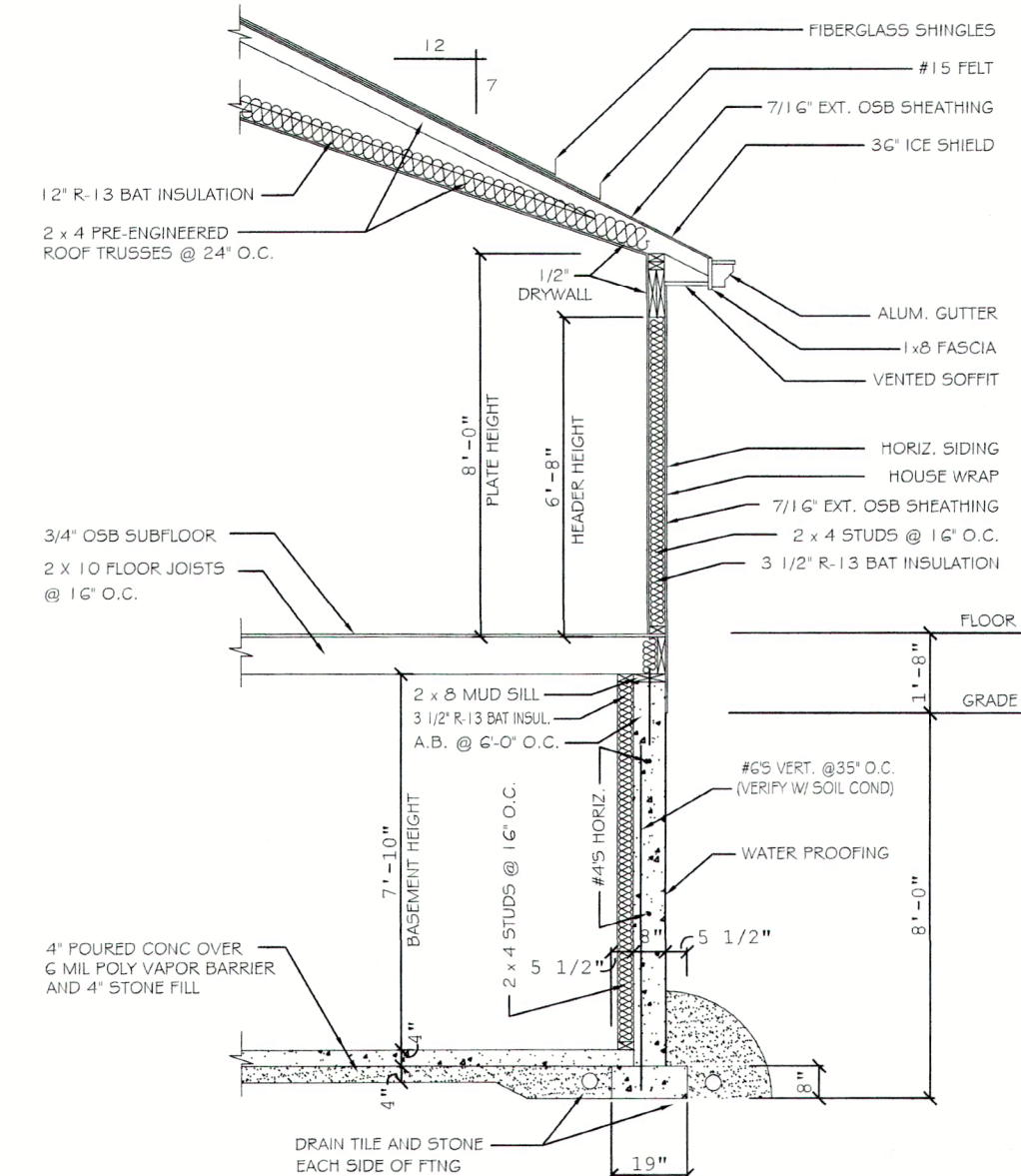


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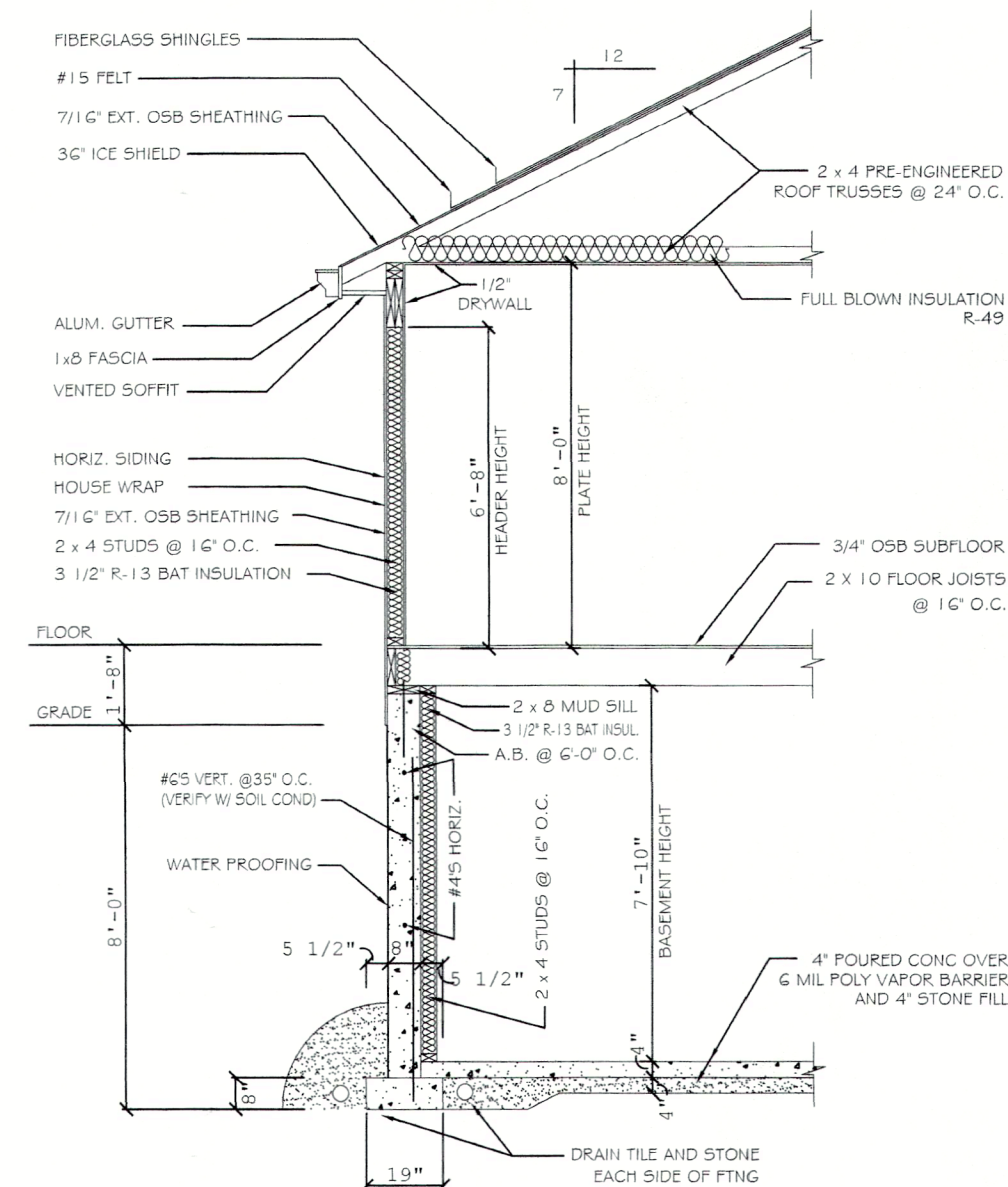
10/22/24

2

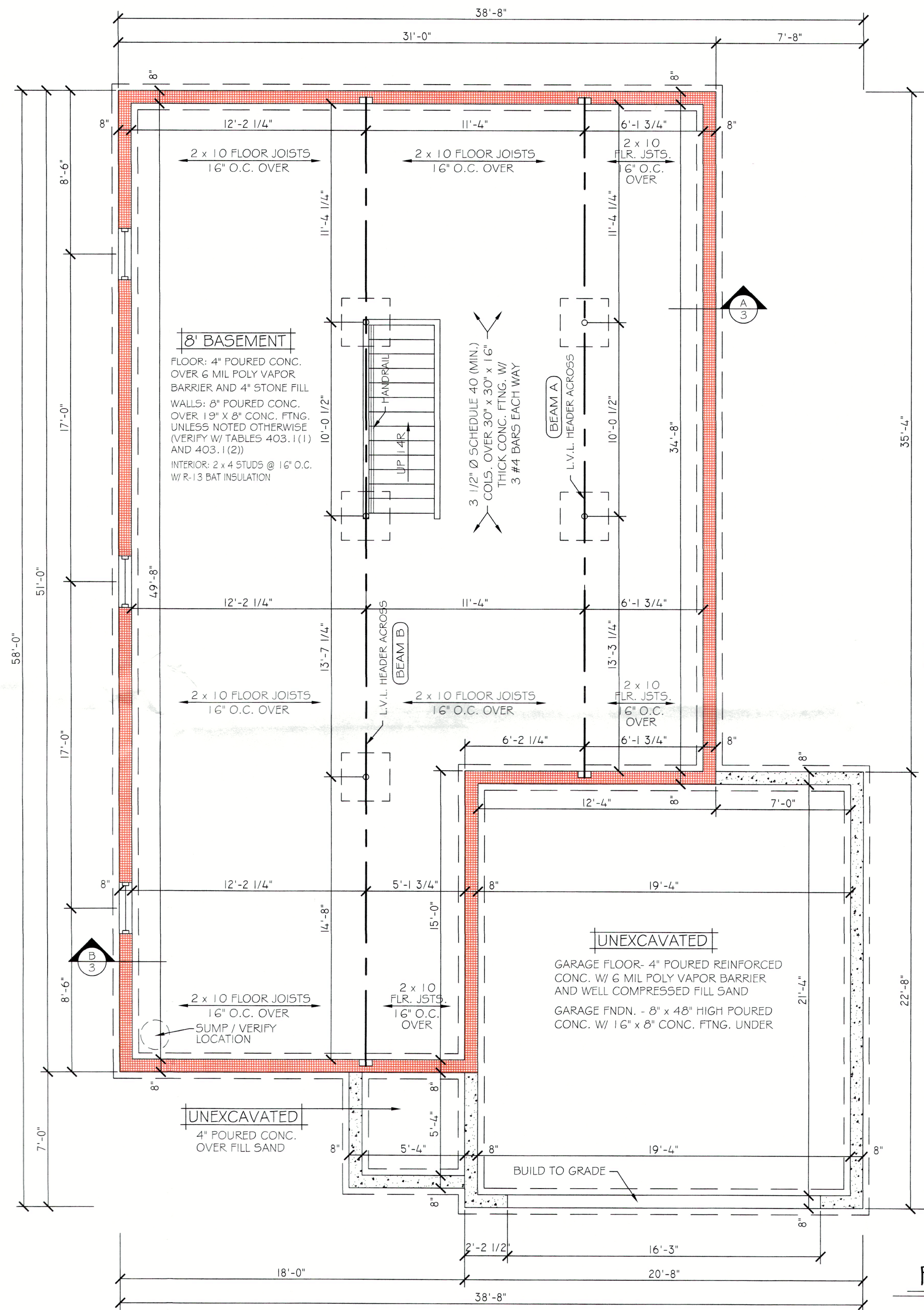
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A SECTION @ GREAT ROOM
SCALE: 1/4"=1'-0"



B SECTION @ BEDROOM #2
SCALE: 1/4"=1'-0"



BASEMENT AND
FOUNDATION PLAN
SCALE: 1/4"=1'-0"

FOUNDATION NOTES:

THE FOUNDATION DESIGN IS BASED UPON THE FOLLOWING:

1. MINIMUM SOIL BEARING PRESSURE CAPACITY OF 1500 P.S.F.
2. ANTICIPATED WATER TABLE IS BELOW BOTTOM OF FOOTING.
3. THE SOIL AT THIS SITE IS PREDOMINANTLY:
 - ☐ COURSE SAND OR SAND AND GRAVEL
 - ☐ MEDIUM SAND
 - ☐ FINE SAND OR SILT
 - ☐ CLAY AND SAND/SILT
 - ☐ CLAY
 - ☐ OTHER
4. ADD REBAR TO FOUNDATION WALL AND FOOTING IF UNSTABLE SOIL CONDITIONS EXIST.

IF OTHER THAN THE ABOVE IS ENCOUNTERED THE FOOTING AND FOUNDATION WALL SHALL BE MODIFIED FOR PROPER SUPPORT PER 2019 RESIDENTIAL CODE OF OHIO.

LOT 10 OF FAIRGROUNDS ADDITION, IN THE CITY OF
NAPOLEON, HENRY COUNTY, OHIO
PREPARED FOR AND AT THE REQUEST OF:
WOODLAND CUSTOM HOMES

**1683 Woodlands Drive,
Maumee, Ohio 43537**
Phone: (419) 893-3680
Fax: (419) 893-2982
www.fellerfinch.com